



GREENHILLS
VICTOR HARBOR

URBAN DESIGN GUIDELINES
October 2019





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1. DEVELOPMENT VISION

1.1. About Greenhills

Greenhills at Victor Harbor is a master planned development nestled in the picturesque Hindmarsh Valley which will become a vibrant new community in an enviable location. Less than an hour's drive from Adelaide, just 5 kilometers from Victor Harbor town Centre and bounded by the beautiful Hindmarsh River this represents a sea change without having to compromise on access to cafes, restaurants and shops as well as great beaches, golf courses or the city itself.

The vision for Greenhills is a relaxed and idyllic community with seamless connectivity between private and public spaces. At the very heart of this vision is the neighbourhood park and lake, a place where families can gather, relax and play.

Housing designs will set this community apart with Greenhills offering a freedom of architectural and design expression that will bring its own reward. Backed up by leafy streets and people oriented public spaces, Greenhills will establish new benchmarks for community living.

Greenhills provides an exciting new lifestyle option that truly represents the innovative, progressive and prosperous people of Victor Harbor.

1.2. Design Philosophy

1.2.1. A key goal of Greenhills is the promotion of a design philosophy built on:

- Project vision, design and presentation excellence;
- Innovation in dwelling and land product to offer stylish, contemporary living;
- Providing greater housing choice with a broad price range, including both traditional and contemporary housing;
- Sensitive environmental management;
- Responsible management of stormwater and water resources;
- Architecturally designed open spaces that will enhance the development year round;
- Creating a pedestrian friendly neighbourhood.

1.2.2. To achieve these aims, a level of development guidance is required in the form of Development Guidelines.

2. ABOUT THE DEVELOPMENT GUIDELINES

2.1. Purpose of the Development Guidelines

2.1.1. The Guidelines are provided to assist purchasers, designers and builders. They aim to create high quality built outcomes that together with the surrounding natural environment enhance the community lifestyle over time. They provide certainty about the quality of dwellings and gardens, and how they interact with neighbouring public open spaces.

2.1.2. The purpose of Greenhills Development Guidelines is to ensure that the physical arrangement of buildings and their relationship to each other and the surrounding environment reflects the vision for the development.

2.1.3. The Guidelines should be used in conjunction with the City of Victor Harbor Council Development Plan as it provides a full range of development controls for residential development in this area as well as the Development Act and Development Regulations (including the Residential Code).

2.1.4. The Guidelines address the quality of the built form and landscape both in terms of appearance and the achievement of sustainability initiatives.

2.1.5. These Guidelines form part of an Encumbrance that is attached to the Certificate of Title of all allotments within Greenhills. Thus, purchasers are contractually obligated (and protected) to comply with these Guidelines.

2.1.6. The Guidelines have been formulated to allow a sufficient level of flexibility that can cater for individuality and personal choice of purchasers and designers.

2.2. Development Guidelines Structure

2.2.1. The structure of the Development Guidelines follows the design process and is set out as follows:

About the Development Guidelines: A background to the development Guidelines and its role in the approving of your development;

- **Siting your Dwelling:** How to best design and site your dwelling to create your dream home.
- **Sustainability Principles:** A sustainability focus for the development of all dwellings.
- **Building on your Site:** Steps to maintain a safe, orderly and environmentally responsible building site.

Appendices:

Development Guidelines Submission Form: To be completed and submitted with your dwelling design.

Building Envelope Plan: A plan showing the limit of building construction and minimum boundary setbacks.

Landscape Guidelines: A landscape plant and materials palette for the external landscape.

2.3. Development Approval Process

When you complete settlement of an allotment within Greenhills, you will note that an Encumbrance including these Development Guidelines has been registered on the Certificate of Title. These documents require that prior to commencement of any development on your allotment you must, in addition to a Development Approval, have satisfied the requirements of this Encumbrance.

2.3.1. If it is uncertain whether or not a proposed development (development/construction) adheres to the requirements of these Development Guidelines, a sketch or concept plan should be provided to and assessed by City of Victor Harbor Council before drawings are finalised for formal submission. This is to ensure the process is streamlined to avoid additional costly design work.

2.3.2. Greenhills has appointed an Encumbrance Manager to provide guidance with and interpretation of, as well as ensuring compliance with these Guidelines.

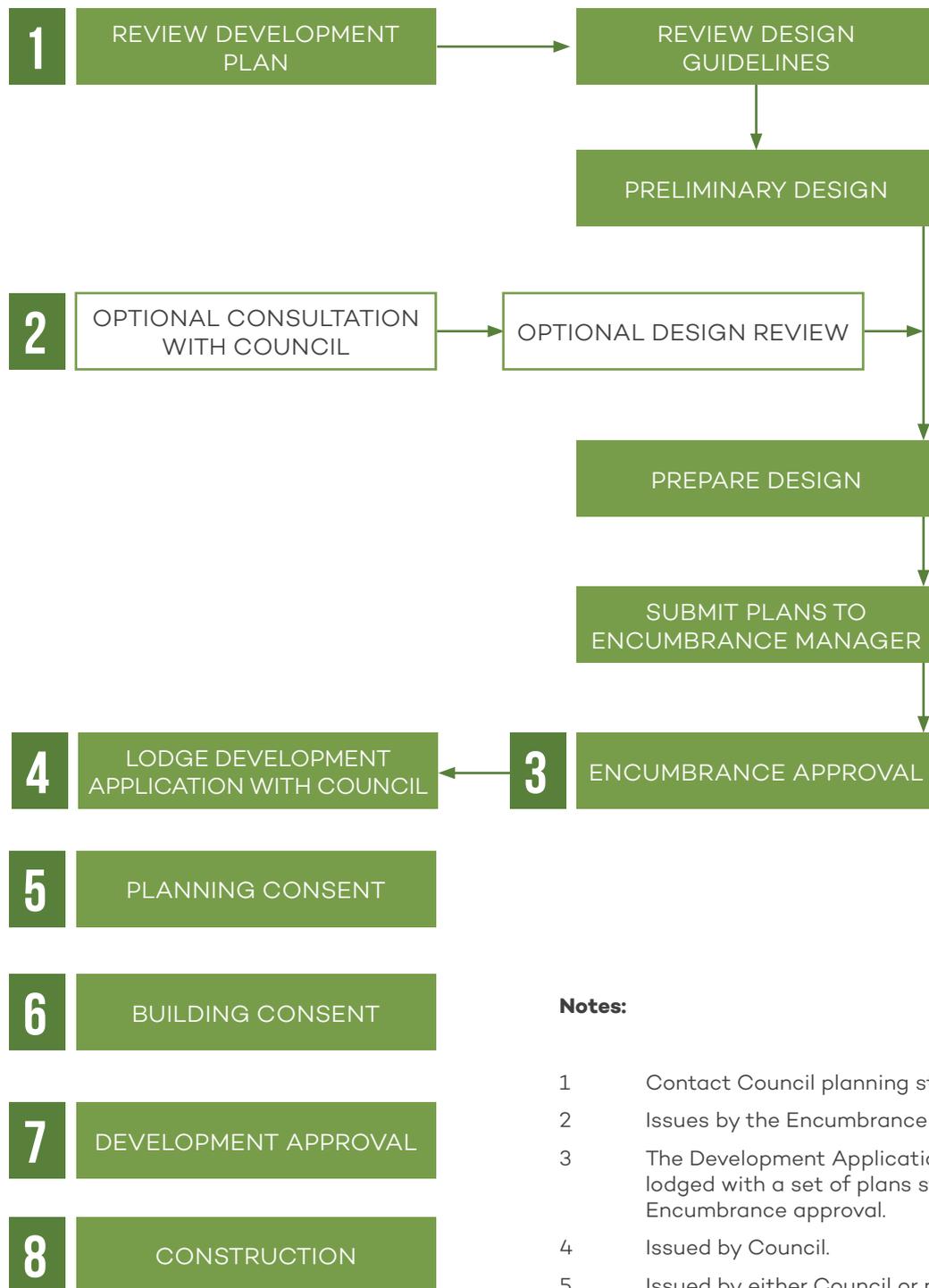
2.3.3. The Encumbrance Manager is available to provide advice on how to take greater advantage of your site's opportunities and to help you address any matters in the Guidelines.

2.3.4. Contact details for the Encumbrance Manager are shown on the design Guidelines application form in the attachments.

2.3.5. A fee is payable by the applicant for Encumbrance approval.

2.3.6. In assessing applications relative to the Development Guidelines, the Encumbrance Manager, may agree to approve proposals that do not conform to the Guidelines.

2.3.7. The following illustrates the approval process:



Notes:

- 1 Contact Council planning staff.
- 2 Issues by the Encumbrance Manager.
- 3 The Development Application to Council must be lodged with a set of plans stamped with Encumbrance approval.
- 4 Issued by Council.
- 5 Issued by either Council or private building surveyor.
- 6 Issued by Council.
- 7 Construction must commence within 12 months.

3. SITING YOUR DWELLING

3.1. Planning Design Principle

3.1.1. **Land Use:** consideration is placed on land use to ensure the development is consistent with both the overall vision of the City of Victor Harbor Council and Greenhills development.

3.2. Planning the Siting of your dwelling

3.2.1 **Building Envelope and Set-backs:** a building envelope is specified for each allotment that shows the area of the site within which your dwelling should be located (refer to Appendix B). The siting of your dwelling needs to comply with the building envelope setbacks in order to gain Encumbrance Approval.

Each envelope indicates the following:

- The minimum setback from each boundary for one and two storey developments;
- Appropriate locations for any buildings to the boundary for garage/carports;
- Location of driveways.

The building envelope and setbacks indicated in the plan within Appendix B is relevant for all buildings and structures (including porticos and bay-windows) but excluding eaves.

3.2.2. **Site Coverage:** the proposed development should be sited to allow for sufficient area to cater for both private open space and landscaping space on the site.

3.2.3. **Private Open Space (POS):** Private Open Space requirements are set by of the City of Victor Harbor Council. Purchasers are advised to contact them accordingly.

3.2.4. Incurred Costs

- Costs associated to the relocation, removal or establishment of any infrastructure services, utilities, street trees, landscaping, footpaths, kerbing, fencing, retaining walls, driveways etc that are required due to the design and siting of the dwelling must be paid for by the purchaser/owner.
- Any owner works as per above must satisfy the overall vision of the site, thus construction must match existing infrastructure in terms of colour and material choices as well as location etc.

3.3. Building Requirements

These Guidelines encourage the design of a dwelling to be based on the orientation or location of the site. The use of different levels, articulation, placement of windows and spaces and indoor-outdoor living spaces etc, can all be advantageously implemented to improve the purchaser's quality of life through views and allowing for maximum natural light.

Through responsive design the purchaser also has the opportunity to reflect their surrounding environment, while maintaining a high level of individuality, through a variety of material, colour and finish choices.

3.3.1 Building Materials

Wall material – minimum of two of the following materials:

- Contemporary face brick or bagged brick;
- Rendered & painted masonry/FC sheeting;
- Stone or stone render;
- Appropriately treated timber or weather board;

- Pre-coloured corrugated metal sheeting;
- Galvanized corrugated sheeting as highlights only; and
- Other materials will be assessed on their merits.

The following materials are NOT permitted for dwelling facades:

- Unpainted or un-rendered cement sheeting or similar;
- Galvanised steel; and
- Used or second-hand materials, asbestos cement, fibreglass, plastic or rubber or any material of a like nature.

Roof Materials:

- Tiles;
- Pre-coloured corrugated profile sheeting;
- Roof tiles and sheets colour must complement the dwelling's style; and
- No galvanized iron permitted.

3.3.2. Colours

- With respect to the dwelling's colour:
- At least two complementary colours applied in an appropriate scheme should be used on the facade (including gutters); and
- Bright and highly contrasting colours should not be used. Colours should complement the vision of the estate.

3.3.3. Addressing the Street and Public Spaces

- Front facades to incorporate;
- Portico or;
- Verandah.

3.3.4. Corner Lots

Dwelling facades on the secondary street frontage must adopt the architectural detail similar to the front facade. I.e. verandahs, gables, window treatments etc. for a minimum distance of 3 metres back from the front line of the dwellings.

3.3.6. Height & Scale

To limit overshadowing and infringement on the privacy of neighbours it is necessary that the heights of dwellings be guided by the following maximum heights:

- Single Storey: 6.0m to the roof ridgeline; and
- Two Storeys: 9.0 to the roof ridgeline.

3.3.7. Roof Pitch

- Minimum roof pitch to all homes – 22 degrees. Skillion roof are to have a minimum pitch of 10 degrees.
- Innovative roof designs such as curved, flat or skillions will be assessed on their merit.

3.3.8. External Plumbing

All two storey homes must conceal all plumbing such as waste pipes & vents within the wall cavities.

3.3.9. Car Accommodation

- Be located in accordance to the Building Envelope Plan;
- Minimum of two car accommodation for all lots with one being undercover;
- Garage must be setback a minimum of 500mm behind the main building line and setback a minimum of 6.5m from the front boundary. Carports or garages may be built in line with the front of the home if there is a two storey component above;
- The car accommodation must not form more than 50% of the total front facade on single storey homes; and
- In respect to carports, these are required to have corner pillars that must match the style of the dwelling in terms of material and colour and must be enclosed to the street (roller or panel lift door).

3.3.10. Privacy

- Care must be taken with overlooking from upper storey windows or balconies into neighbouring private open space. Fixed obscure glass or adequate screening is to be provided to a minimum of 1.5m above the finished floor level.

3.4. Around Your Home

3.4.1. Fencing

The edges of your allotment represent an extension of the design of your dwelling thus, fences and retaining walls are an integral part of the design and their appearance, if not designed in a coordinated manner, can undermine the quality appearance of your property.

Fencing to side and rear boundaries is mandatory and must be completed prior to occupation of the dwelling.

If front fences are to be erected as part of the building scheme they must;

- Be of a height no greater than 1.2 metres above natural ground level.
- Incorporate a mix of at least 2 different materials in the construction.
- Incorporate visually permeable panels to at least 80 percent of the allotment frontage.

Front fences must not be constructed of:

- Colorbond or similar pre-coated solid metal sheet material.

Side fences must be;

- 1.8m high colour coated good neighbourhood fencing – “Greyridge” or similar colour.
- Set back a minimum of 0.5m behind the main building line.

Rear fences must be;

- 1.8m high Colorbond good neighbourhood fencing – “Greyridge” or similar.

Corner Lots

- Solid fencing to secondary street frontage is to commence 3 metres back from the front line of the dwelling.

3.4.2. Sheds and Structures

- Maximum of 20sqm floor area for lots up to 425sqm and a maximum 40sqm for allotments over 425sqm provided private open space requirements are still met. All sheds must have a maximum wall height of 2.7m and total height of 3.6m.
- Shed colours should match or be complimentary to the fence or dwelling.

3.4.3. Driveways

- Single width crossover of 3.5m (eg area between the gutter and the driveway to the front allotment boundary);
- All driveways are to be offset a minimum of 500mm from the side boundary;
- Material finishes to be either or a combination of coloured concrete, exposed aggregate or pavers;
- Driveways must abut and not be cut through any pedestrian footpath;
- Driveways must be completed prior to occupation;
- Driveways locations nominated on Building Envelope plans in Appendix B;
- Driveways must be aligned with existing crossovers; and
- Only one driveway/cross over is permitted per allotment (with the exception of corner allotments where a second allotment may be permitted)

3.4.4. Ancillary Structures

- TV antennae, satellite dishes, clothes lines, rainwater tanks, air conditioner units are to be located in such a manner they have minimal impact from a street or park frontage.

3.4.5. Truck, boat and caravan parking

No truck, boat or caravan will be stored forward of the dwellings primary street alignment.

3.4.6. Landscape

All landscaping features should be designed to complement the landscape character of the Greenhills project. The design can consist of a mixture of native and exotic plants, with a focus on maximising green soft planting and minimising hard landscape elements such as paving and concrete.

There should be a sense of coordination and integration regarding the style of landscape design which should be evident throughout the property.

3.4.7. Front yard landscaping and gardens visible to the street

The dwelling should be designed with the following criteria:

- Landscaping of the front garden (eg between the front dwelling facade and the front allotment boundary) is to be completed within 6 months after occupation of the dwelling;
- Landscape and maintain the land should be in accordance with Greenhills - Landscape Plant List in Appendix C;
- Utilise the landscape practice of 'hydro zoning' by grouping plants with similar watering requirements;
- Minimise the use of instant turf / lawn and encourage to substitute with native lawn alternatives provided in Greenhills - Landscape Plant List 'Lawn Alternatives' in Appendix C;
- Consider permeable pavements wherever possible;

- Utilise small retention areas, rain gardens etc to collect and slow water runoff
- Landscape treatments should be kept within the scale of your dwelling; and
- The use of drip irrigation systems are encouraged.

3.4.8. Plant Selection

- You are encouraged to select all plants for the front garden from the 'Greenhills – Landscape Plant List' (Refer to Appendix C).

3.4.9. Establishment and maintenance

- You shall at all times thereafter maintain, keep tidy and care for the front yard landscape and garden visible to the street; and
- You must act in good faith in determining the standard acceptable for the purposes of maintaining the front yard landscape.

4. SUSTAINABILITY PRINCIPLES

Outlined below are ways of making a difference and improving the sustainability and comfort of your dwelling, from passive building design techniques, water conservation, sustainable landscaping to the adoption of renewable energy.

4.1. Building Design

4.1.1. Orientation and Winter Solar Gain

Correctly orientating your dwelling to harvest the sun's warmth in winter and maximise your dwelling's ability to capture cooling breezes in summer will help maintain a natural comfortable temperature within your dwelling through every season with minimal assistance from heating and cooling.

All daytime living spaces including living, kitchen, dining, family, study areas and outdoor spaces/courtyards should maximise orientation to the north and face private open space areas in order to have access to daylight and solar access gain all year round.

4.1.2. Building Envelopes

The building envelope plans forming part of these Development Guidelines are designed to facilitate development that minimises energy consumption for heating and cooling. Dwellings must be built within the building envelopes in order to maximise access to winter solar gain and natural cooling ventilation in summer. These plans will also ensure the position of your dwelling does not adversely affect your neighbour's ability to achieve the same benefits. Refer to Appendix B for Greenhills Building Envelope Plans.

4.1.3. Windows/Glazing

Windows (and doors) provide the important benefits of access to light, heat, air and views. Maximising the benefit depends on orientation, shading, size, quality, and the area of glass relative to both the floor area and solid wall area. Walls that do not have exposure to winter sun should have less glazing.

The use of double glazing (particularly for windows to living areas and bedrooms) or comfort glass or a similar product that achieves a higher level of thermal performance than standard glass is recommended.

High thermal performance window (and door) framing options include the following:

- Timber or uPVC; and
- Aluminium, thermally improved (thermal break).

4.1.4. Shading

Internal comfort during warmer months requires that windows facing north, east and west are effectively shaded.

Consider appropriate design techniques to avoid heat gain whilst maintaining your views. Techniques include eaves, verandahs, balconies, window shades, double glazing windows, blinds and vegetation around the home.

Eaves with a minimum width of 900mm to the north, west and east sides of the home are most effective and are recommended.

4.1.5. Ventilation, Sealing and Zoning

Zoning of living areas by incorporating doors between internal 'zones' to separate living, sleeping and utility areas provides improved efficiency of heating and cooling systems is recommended.

The home design should encourage a layout and external opening that provide for cross ventilation and provide low and high level openings to provide for vertical ventilation. In summary, cooler air enters through the low openings and pushes the warmer air out through the higher openings.

Installing windows and doors with high quality fully sealing devices will also improve thermal performance and general comfort.

4.1.6. Insulation

Use insulation in walls of R2.0 and minimum in ceilings R3.5 will help improve thermal performance. This is a very cost effective option to make your home more comfortable and energy efficient and is recommended.

Types of wall insulation available include rockwool, glasswool, sheeps wool, cellulose fibre, reflective foil sheets, insulation and aircell.

Insulated roofs fitted with reflective foils and with bulk or proven similarly acting insulation products will reduce the impact of high levels of solar radiation and other heat gain and loss.

4.2. Water Conservation

4.2.1 Rainwater Tanks

Rainwater tanks must be installed in accordance with City of Victor Harbors requirements.

4.2.2 Fixtures and Appliances

The use of water efficient fixtures and appliances can save considerable quantities of water. It is encouraged that each dwelling considers the use of 4 star toilets, 3 star showerheads, and 4 star dishwashers where possible. For star ratings indicating water efficiency please refer to the Water Efficiency Labelling and Standards (WELS) rating scheme.

4.3. Landscape

The landscape design of each allotment needs to complement the landscape character of Greenhills rather than impose a new exotic landscape that does not respect or compliment these spaces.

All allotments must be landscaped in accordance with the 'Greenhills - Landscape Plant List' provided in Appendix C as part of these Development Guidelines prior to occupation of the dwelling on the land.

5. BUILDING ON YOUR SITE

5.1 Promotion of clean site initiatives

5.1.1. **Solid Wastes:** All building materials and wastes associated with on-site construction must be contained and stored within the subject area until proper disposal procedures can be utilised. Light wastes (plaster and cement bags, plastics, wrappings etc) should be disposed of in covered waste bins on-site.

5.1.2. **Dust Emissions:** The emissions of dust should be minimised as it is a major pollutant to stormwater and a significant nuisance to neighbouring residents.

Steps that can be taken to lessen the spread of dust include:

- Regularly coating roadways, entrances and main traffic areas with dust suppressants. Watering regularly can also minimise dust;
- Large construction sites must have a water supply and applicator on-site to ensure dust suppression; and
- When dust emissions present are deemed hazardous in nature, provisions must be taken to ensure the dust is contained, collected and disposed of aptly to prevent release into the air or stormwater.

5.2. Disposal of excavated material

5.2.1. Spoil that has been excavated during construction of footings or landscaping must not be placed or stored on adjoining properties unless written approval has been given by the property owner;

5.2.2. Spoil must be removed immediately if possible;

5.2.3. The spoil collected and stockpiled must be covered or watered to prevent dust from spreading into adjoining allotments;

5.2.4. Spoil must not be stockpiled within 1m of a street tree or associated landscape;

5.2.5. Spoil that is stockpiled on vacant land must be scraped clean to its original state with all traces of spoil removed once completion of the property has been achieved; and

5.2.6. Failure to remove spoil upon the completion of the property. Council may arrange for removal and charge the property owner for removal of the spoil.

5.2.7. **Damage to Footpaths, Driveways Crossovers and Streetscape Planting:** It is the owner's responsibility to rectify any public footpaths, driveway crossovers and streetscape planting if damaged during the construction of the dwelling.



APPENDICES

APPENDIX A: DEVELOPMENT GUIDELINES SUBMISSION FORM

Please complete the form alongside and submit with the requirements to:

greenhills@connektup.com.au

OR

Greenhills Encumbrance Manager
c/o Level 1, 120 Hutt Street
Adelaide SA 5000

Encumbrance Fee

A fee of \$450 plus GST is required to be paid to the Encumbrance Manager to administer the Encumbrance process. Bank details are provided below for EFT payment, due at lodgment of this submission.

Account Name	Urban Projects Australia Pty Ltd
BSB	065-000
Account Number	11655775
Reference	Greenhills (and insert your allotment number - eg: Greenhills Lot 1)



ENCUMBRANCE SUBMISSION FORM

Site Details

Lot No _____
Street _____
Suburb _____

Builder

Name _____
Post Address _____
Phone _____ Email _____

Owner

Name _____
Post Address _____
Phone _____

Information Supplied with the Submission Form

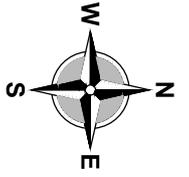
Site Plan	Y / N
Floor Plans	Y / N
Elevations	Y / N
Colour & Materials Schedule	Y / N
Landscape Plan	Y / N

Declaration: All information supplied is correct. Any missing information will delay the processing of this application. I acknowledge I have read the Greenhills Development Guidelines and viewed the Building Envelope Plan relevant to this allotment and adjacent allotments, and declare that the plans hereby lodged have been produced in accordance with the Development Guidelines and Envelope Plan. I acknowledge that the driveway invert location and service connections are already allocated and any cost incurred to change these services will not be covered the developer, but by either the owner or builder. We also acknowledge that a fee of \$450 plus GST is required to be paid to the Encumbrance Manager to administer the Encumbrance process, and will pay this via EFT at lodgement of this submission.

Owner _____ Date _____

Builder _____ Date _____

APPENDIX B: BUILDING ENVELOPE PLAN



Building Envelopes Plan STAGE 1

- Denotes garage can be built on boundary. If not on boundary 1m minimum setback applies.
 - Denotes single storey setback. (Note: Front setback measured to front facade - excluding verandah or portico).
 - Denotes second storey setback (or if side wall greater than 3 metres).
 - Denotes preferred driveway location.
 - Minimum front setback to garage or carport 0.5 metres behind the main face of the associated dwelling.
 - Envelopes show the minimum setback requirements and driveway locations only.
 - Priority 1 trees - RETAIN
 - Priority 2 trees - RETAIN IF POSSIBLE
 - BFS - Built Form Setback (distance from tree shown)
- Tree details from Dean Nicole report dated 26.11.2009.

Ref: A001915.0000
 Dwg: A001915-BEP1(A)
 Rev: A
 Date: 08.08.2017



APPENDIX C: LANDSCAPE PLANT LIST

NATIVE TREES

- *Allocasuarina verticillata* 'She-oak'
- *Eucalyptus camaldulensis* 'River red gum'
- *Eucalyptus leucoxylon* spp *leucoxylon* 'Yellow gum'
- *Eucalyptus leucoxylon* 'Rosea'
- *Eucalyptus ovata* 'Bogong gum'

DECIDUOUS TREES

- *Acer x freemanii* 'Jeffersred'
- *Fraxinus pennsylvanica* 'Urbell'
- *Urbanite Jacaranda mimosifolia*
- *Lagerstroemia indica* x *L. fauriei* 'Biloxi'
- *Pistacia chinensis* 'Chinese Pistachio'
- *Pyrus calleryana* 'Aristocrat'
- *Pyrus calleryana* 'Chanticleer'

SHRUBS

- *Acacia acinacea* 'Wattle'
- *Banksia marginata* 'Silver banksia'
- *Bursaria spinosa*
- *Eremophila maculata* 'Compact'
- *Leucophyta brownii* 'Cushion bush'
- *Hardenbergia violacea* 'Lilac vine'
- *Russelia equisetiformis* 'Fountainbush'
- *Westringia fruticosa* 'Smokey'
- *Westringia* 'Blue Gem'

GROUNDCOVERS

- *Banksia marginata* 'Mini Marg'
- *Eremophila* 'Kalbarri Carpet'
- *Grevillea* 'Gin Gem'
- *Goodenia ovata* 'Gold Cover'
- *Hardenbergia violacea* 'Meema'
- *Myoporum parvifolium* 'Creeping boobialla'
- *Rosmarinus* 'Prostratus'
- *Scaevola* 'Mauve Clusters'
- *Trachelospermum jasminoides* 'Star jasmine'
- *Westringia* 'Mundi'

GRASSES & STRAPPY LEAF PLANTS

- *Dianella caerulea* 'Little Jess'
- *Lomandra longifolia* 'Katrinus Deluxe'
- *Lomandra longifolia* 'Nyalla'
- *Lomandra* 'Silver Grace'
- *Lomandra longifolia* 'Tanika'

AQUATIC SPECIES - SEDGES

- *Carex appressa* 'Tall sedge'
- *Cyperus vaginatus* 'Stiffleaf Sedge'
- *Ficinia nodosa* 'Knotted club-rush'
- *Juncus pallidus* 'Pale rush'
- *Juncus subsecundus* 'Fingered rush'



GREENHILLS

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